



Avalon View

Henley Lane, Butleigh, BA6 8UA

George James PROPERTIES

EST. 2014

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Guide Price - Guide Price £650,000

Tenure – Freehold

Local Authority – South Somerset District Council

Summary

Avalon View is a stunning contemporary home built in 2019 to an exceptional standard. This well designed home offers versatile accommodation totalling almost 2000sqft. The quality of finish can be seen throughout with incredible attention to detail, with high quality bathrooms and a beautiful fitted kitchen with Miele appliances. The open plan living area and kitchen is the heart of this home with oak flooring, free standing wood burning stove and glazed door accessing the gardens. The impressive front gable of the house is a beautiful oak frame with full glazing to the apex allowing these rooms to enjoy magnificent views of Glastonbury Tor. Outside the gated entrance leads to a block drive with ample secure off road parking and front private patio. There is an enclosed raised garden and decked area to the rear of the house ideal for outside entertaining.

Services

Mains water, drainage, gas and electricity are all connected. Gas fired underfloor heating to the ground floor rooms and radiators to the first floor. Council tax band E.

Amenities

The village of Butleigh has an active community with a church, primary school and playing fields with rugby and cricket teams. A village post office/shop provides a good level of amenities and both Glastonbury and Street are only a few miles away providing excellent shopping and leisure facilities including Clarks Village factory outlet shopping. Bath, Yeovil and Taunton are within easy driving distance. The mainline railway station at Castle Cary offers a connection to London Paddington and is only about 20 minutes away. Bristol airport is with an hours' drive. There are excellent state and independent local schools notably Millfield, Wells Cathedral School, Bruton schools and Hazlegrove.

Entrance Hall

With stairs leading to the first floor, oak flooring and useful built in storage cupboards. A large airing cupboard houses the boiler and space for a tumble dryer.

WC

With window to the rear, low level WC and vanity wash hand basin.



Sitting Room/Dining Room 17' 2" x 17' 7" (5.24m x 5.36m)

With two window and glazed door to the garden. Oak flooring and AGA cast iron free standing wood burner. This room opens to the kitchen.

Kitchen/Breakfast Room 11' 6" x 11' 8" (3.50m x 3.56m)

With window to the garden, range of high quality base and wall mounted kitchen units incorporating sink unit and mixer tap. All Miele appliances including two eye level ovens, 5 ring gas hob with extractor hood, fridge freezer, dishwasher and washing machine.

Bedroom 3 17' 7" x 10' 4" (5.36m x 3.15m)

Ground floor bedroom with full height window and oak flooring.

Bedroom 4 9' 2" x 7' 0" (2.80m x 2.14m)

Ground floor bedroom with window to the side.

Shower Room

With low level WC, vanity wash hand basin and shower cubicle with mains shower.

Landing/Study

This large bright area makes an ideal study area overlooking the entrance hall with room window.

Bedroom 1 15' 10" x 10' 6" (4.82m x 3.19m)

With roof window, large walk in wardrobe and further eave storage cupboards.

En-Suite Shower Room

With roof window, low level WC, vanity wash hand basin and shower cubicle with mains shower. Heated ladder towel rail.

Bedroom 2 15' 1" x 11' 3" (4.60m x 3.42m)

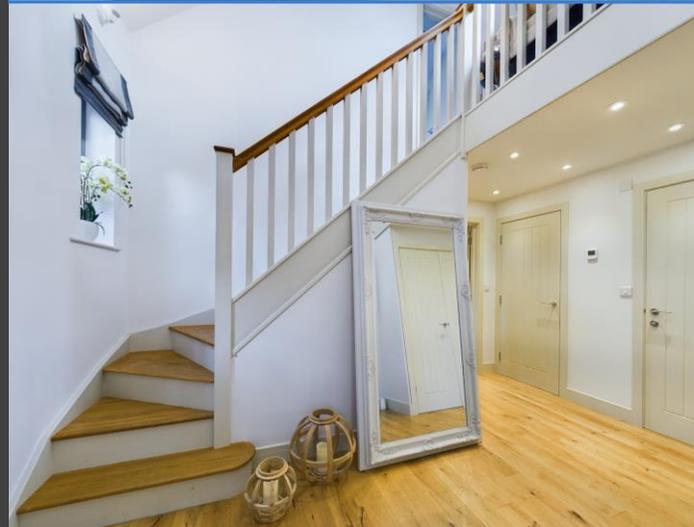
Full height apex window with impressive views, roof window and eave storage cupboards. Large walk in wardrobe.

En-Suite Bathroom

With roof window, low level WC, vanity wash hand basin and panelled bath with mains shower and screen over. Heated ladder towel rail.

Outside

From the lane there is a layby parking bay with natural stone wall and hedge, secure timber vehicular gates lead to the block driveway with parking for several vehicles. A hedge screens a private front patio and a path to the side of the house leads to the entrance door and rear garden. Steps lead to the raised rear garden with lawned area and large decked seating area. From the garden there are countryside views including Glasonbury Tor.



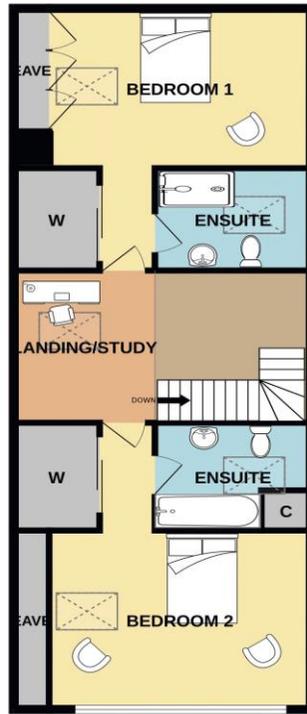




GROUND FLOOR
957 sq.ft. (88.9 sq.m.) approx.

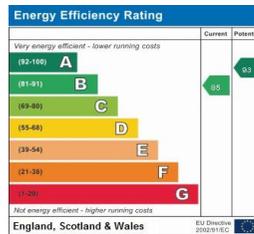


1ST FLOOR
802 sq.ft. (74.5 sq.m.) approx.



TOTAL FLOOR AREA: 1759 sq.ft. (163.4 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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1 Brandon House, West Street, Somerton, TA11 7PS

Tel: 01458 274153

email: somerton@georgejames.properties

www.georgejames.properties



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